



Inspection Report

Property Address:

Sample Street
NY



Premier Inspection Services

Todd Smith New York State License #16000061367

Todd Smith

Premier Inspection Services

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A handwritten signature in black ink, appearing to read "Todd Smith".

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Date: Invalid DateTime	Time:	Report ID:
Property: Sample Street NY	Customer:	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Safety (SA) = Item, component or unit deficient, missing, not functioning as intended or not installed resulting in a personal health or safety hazard.

Standards of Practice:

ASHI American Society of Home
Inspectors, New York State

In Attendance:

Customer and their agent

Type of building:

Single Family (2 story)

Approximate age of building:

55 Years

Temperature:

Over 65 (F) = 18 (C)

Weather:

Clear

Ground/Soil surface condition:

Dry

Rain in last 3 days:

No

Radon Test:

Yes

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1. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.



Roof Covering: *Architectural* **Viewed roof covering from:** *Walked roof* **Sky Light(s):** *None* **Chimney (exterior):** *Brick*

1.0 Roof Coverings - *Inspected*

1.1 Flashings - *Inspected, Repair or Replace*

- (1) Counter flashing is missing from the chimney at the cricket and on the eave overhanging the area that was once the garage. Additionally a kick out flashing is recommended at the rear wall to roof transition to prevent water running down the wall. A qualified roofer is recommended for repairs.
- (2) Flashing repair is also recommended at the gutter at the bottom of the rear valley. Rotted fascia is present indicating water build up. A qualified roofer is recommended for repair.

1.2 Skylights, Chimneys and Roof Penetrations - *Inspected, Repair or Replace*

Deteriorated mortar and loose bricks were noted at the top of the chimney. Repair is recommended by a masonry repair professional.

1.3 Roof Drainage Systems - *Inspected, Repair or Replace*

The gutter downspout screens are clogged in areas. Maintenance is recommended to insure proper function. A qualified person should perform the maintenance.

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1.1 Item 1(Picture) Missing counter flashing



1.1 Item 2(Picture) Missing counter flashing



1.1 Item 3(Picture) Kick out flashing recommended



1.1 Item 4(Picture) Flashing repairs needed



1.2 Item 1(Picture) Deteriorated mortar and loose bricks



1.3 Item 1(Picture) Clogged

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.



Siding Style: *Lap Cement stucco* **Siding Material:** *Wood Vinyl Brick veneer Stucco* **Exterior Entry Doors:** *Wood Steel* **Appurtenance:** *Covered porch Patio* **Driveway:** *Gravel*

2.0 Wall Cladding Flashing and Trim - *Inspected, Repair or Replace*

- (1) The exterior wood trim needs paint maintenance in most areas. Peeling deteriorated paint was noted throughout the exterior. Rotted and water damaged trim was noted in several areas. Repair of deteriorated wood is recommended along with paint maintenance to prevent further deterioration. A qualified professional is recommended.
- (2) Minor cracking was noted in the stucco exterior. Maintenance is recommended by a qualified professional to prevent further damage.
- (3) Mortar cracking and rusted lintels were noted near the old garage entry door. Repair is recommended by a qualified professional to prevent further deterioration.

2.1 Doors (Exterior) - *Inspected, Repair or Replace*

The lower level sliding glass door was noted with a broken thermal seal. This condition may cause heat loss in the winter. Repair as needed using a qualified professional.

2.2 Windows - *Inspected*

2.3 Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings - *Inspected, Repair or Replace*

- (1) Missing foundation block, cracked concrete and brick were noted on the right side of the front porch. Repairs are recommended by a masonry/concrete repair professional to prevent further damage.
- (2) The front porch stairs have a negative slope that drains towards the house. Water infiltration may occur in this area. Repair/correct as needed using a concrete repair professional

2.4 Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building) - *Inspected, Repair or Replace*

Vegetation is in contact with the building in many areas. Trimming vegetation away from the home is recommended to prevent damage and pest intrusion.

2.5 Eaves, Soffits and Fascias - *Inspected, Repair or Replace*

Rotted fascia was noted on the left side and rear wall to roof transition. Repair is recommended by a carpenter or other qualified person to prevent further damage.



2.0 Item 1(Picture) Rotted trim



2.0 Item 2(Picture) Trim needs paint



2.0 Item 3(Picture) Paint trim



2.0 Item 4(Picture) Mortar cracking



2.1 Item 1(Picture) Broken thermal seal



2.3 Item 1(Picture) Missing block at foundation



2.3 Item 2(Picture) Cracked porch slab



2.3 Item 3(Picture) Cracked brick joint at porch



2.3 Item 4(Picture) Negative slope



2.5 Item 1(Picture) Rotted fascia



2.5 Item 2(Picture) Rotted fascia

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Ceiling Materials: *Drywall* **Wall Material:** *Drywall* **Floor Covering(s):** *Carpet Hardwood T&G Tile Vinyl* **Interior Doors:** *Hollow core* **Window Types:** *Thermal/Insulated Casement* **Window Manufacturer:** *ANDERSEN* **Cabinetry:** *Wood* **Countertop:** *Tile*

3.0 Ceilings - *Inspected*

Typical cosmetic cracking noted in the living room/dining room area.

3.1 Walls - *Inspected*

3.2 Floors - *Inspected*

3.3 Steps, Stairways, Balconies and Railings - *Inspected, Repair or Replace, SA= Safety*

A loose handrail was noted leading to the finished lower level.

3.4 Counters and Cabinets (representative number) - *Inspected, Repair or Replace*

Grout maintenance is recommended on the kitchen tile countertop.

3.5 Doors (representative number) - *Inspected, Repair or Replace*

The front door knob does not operated as intended. Repair by a qualified person is recommended.

3.6 Windows (representative number) - *Inspected, Repair or Replace*

Casement windows were noted with missing hardware, loose hardware and inoperable in multiple locations. Most windows were also difficult to open and need lubrication. A qualified window repair professional is recommended to make necessary repairs.



3.3 Item 1(Picture) Loose handrail



3.5 Item 1(Picture) Repair needed



3.6 Item 1(Picture) Not operable



3.6 Item 2(Picture) Loose



3.6 Item 3(Picture) Missing handle

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.



Foundation: *Poured concrete* **Floor Structure:** *2 X 10* **Wall Structure:** *Not visible* **Columns or Piers:** *Steel post and beams* **Ceiling Structure:** *Not visible* **Roof Structure:** *2 X 4 Rafters 2 X 6 Rafters* **Roof-Type:** *Gable* **Method used to observe attic:** *Walked* **Attic info:** *Attic access*

4.0 Foundations, Basement and Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.) - *Inspected, Repair or Replace*

Mold growth was noted on shelving, cabinets and other surfaces in the basement. Elevated humidity was detected and appears to be the cause of the mold growth. A dehumidifier(s) are recommended to prevent further growth. Professional remediation may be considered for mold removal.

4.1 Walls (Structural) - *Inspected*

4.2 Columns or Piers - *Inspected*

Limited visibility of structure.

4.3 Floors (Structural) - *Inspected, Repair or Replace*

Rotted sill plate and wood destroying insect damage was noted in the basement below the kitchen sliding door. Repair have been made, possibly to correct water intrusion. A pest control professional is recommended to provide treatment options. Repair of the rotted wood should be considered, as settling may occur at the rotted areas. A carpenter should be consulted for repair suggestions.

4.4 Ceilings (Structural) - *Inspected*

4.5 Roof Structure and Attic - *Inspected*



4.0 Item 1(Picture) Mold on cabinet



4.3 Item 1(Picture) Rotted sill plate



4.3 Item 2(Picture) Rotted joist and sill plate



4.3 Item 3(Picture) WDI damage



4.3 Item 4(Picture) Water damage and WDI damage

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.



Water Source: *Public* **Plumbing Water Supply (into home):** *Copper* **Plumbing Water Distribution (inside home):** *Copper* **Washer Drain Size:** *2" Diameter* **Plumbing Waste:** *PVC ABS* **Water Heater Power Source:** *Electric* **Water Heater Capacity:** *50 Gallon (2-3 people)* **Manufacturer:** *RHEEM* *Extra Info : Apperas to be 2008 model* **Water Heater Location:** *Basement*

5.0 Plumbing Drain, Waste and Vent Systems - *Inspected, Repair or Replace*

- (1) An interior main sewer drain clean out access was not observed in the home. A plumber or other qualified person is recommended to install a clean out in case the main line needs to be cleared.
- (2) An unused open trap was noted in the basement below the kitchen and behind the washing machine. Additionally a drain line was noted running under the dining room, but no fixtures are present in that area. The open trap started gurgling when the dishwasher was draining. A plumber or other qualified person is recommended to make repairs necessary to insure no open drains area present and fixture are draining properly.

5.1 Plumbing Water Supply, Distribution System and Fixtures - *Inspected, Repair or Replace*

- (1) The shower arm in the master bathroom is loose. Repair will likely require opining the wall. A qualified professional is recommended for repair to prevent damage to the supply line and water leaks.
- (2) The lower level toilet is loose at the base and leaks. Repair by a plumber is recommended.
- (3) The tub diverter in the hall bathroom is not functional. Repair is recommended by a plumber or other qualified professional.
- (4) The master bathroom sink stopper is not functional. The aerators on the hall bath sinks appears to need repair or replacement. One aerator is restricted and the other puts out too much water that spills out of the sink when operated.

5.2 Hot Water Systems, Controls, Chimneys, Flues and Vents - *Inspected*

5.3 Main Water Shut-off Device (Describe location) - *Inspected*

The main water shut off valve is located on the rear wall of the basement.

5.4 Fuel Storage and Distribution Systems (Interior fuel storage, piping, venting, supports, leaks) - *Inspected*

Gas piping is present in the basement, but not connected to a source.

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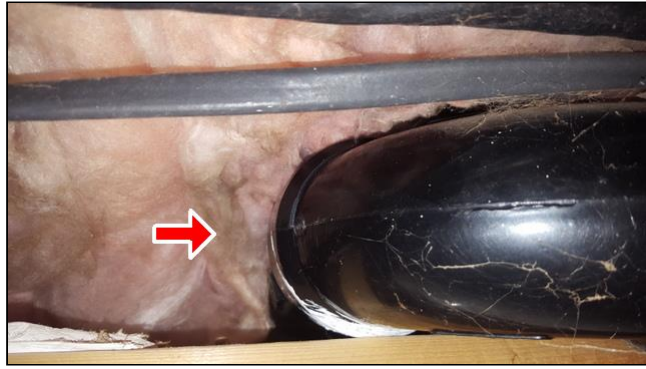
5.5 Main Fuel Shut-off (Describe Location) - Inspected

The main fuel shut off is located at the propane tank on the rear patio.

5.6 Sump Pump - Not Present



5.0 Item 1(Picture) Open drain line



5.0 Item 2(Picture) Mystery drain pipe



5.1 Item 1(Picture) Loose shower arm



5.1 Item 2(Picture) Loose and leaks



5.1 Item 3(Picture) Tub diverter not working



5.1 Item 4(Picture) Too much water



5.1 Item 5(Picture) Not enough water

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home

waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.



Electrical Service Conductors: *Below ground* **Panel capacity:** *200 AMP* **Panel Type:** *Circuit breakers*
Electric Panel Manufacturer: *GENERAL ELECTRIC* **Branch wire 15 and 20 AMP:** *Copper* **Wiring Methods:** *Romex*

6.0 Service Entrance Conductors - *Inspected*

6.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels - *Inspected, Repair or Replace, SA= Safety*

Double tapped breakers were noted in the sub panel located in the basement. A electrician is recommended to correct appropriately.

6.2 Branch Circuit Conductors, Overcurrent Devices and Compatability of their Amperage and Voltage - *Inspected*

6.3 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls) - *Inspected, Repair or Replace, SA= Safety*

- (1) The front door bell is not functional. Repair or replace as needed.
- (2) A broken outlet was noted in the converted garage.

A uncovered junction box was observed in the kitchen near the light switches.

Exposed wires were noted in the laundry room.

All items are recommended for repair by an electrician.

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6.4 Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures, all receptacles in garage, carport and exterior walls of inspected structure - Inspected, Repair or Replace, SA= Safety

GFCI receptacles are recommended in the converted garage, kitchen and hall bath to comply with current safety standards. An electrician should install.

6.5 Operation of GFCI (Ground Fault Circuit Interrupters) - Inspected, Repair or Replace, SA= Safety

The GFCI receptacles at the front porch and master bathroom did not trip when tested. Replacement GFCI receptacles are recommended. An electrician should install.

6.6 Location of Main and Distribution Panels - Inspected

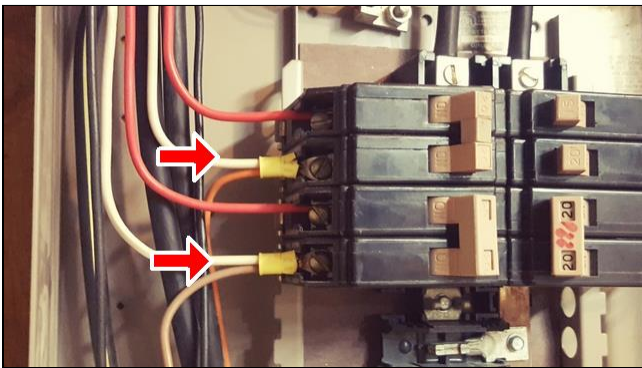
The main panels are on the right wall of the basement.

6.7 Smoke Detectors - Inspected, Repair or Replace, SA= Safety

Smoke alarms are recommended in each bedroom and on each level at a minimum.

6.8 Carbon Monoxide Detectors - Inspected, Repair or Replace, SA= Safety

CO alarms are recommended in areas with propane and wood heat.



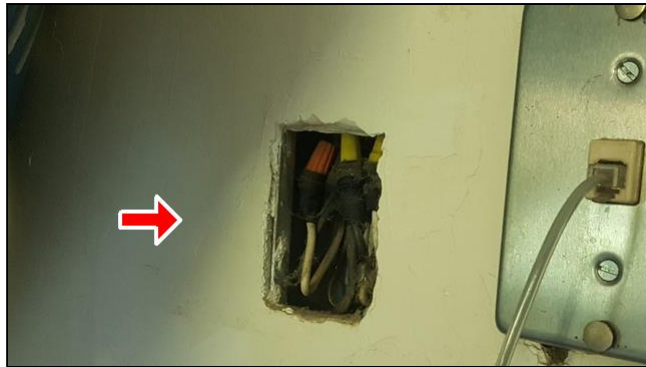
6.1 Item 1(Picture) Double tapped breakers



6.3 Item 1(Picture) not functional



6.3 Item 2(Picture) Broken outlet



6.3 Item 3(Picture) Uncovered junction box



6.3 Item 4(Picture) Exposed wires



6.5 Item 1(Picture) Not functional



6.5 Item 2(Picture)

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Heating / Central Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.



Heat Type: *Space heater Electric Baseboards* **Energy Source:** *Propane Electric* **Number of Heat Systems (excluding wood):** *Three* **Heat System Brand:** *RINNAI* **Types of Fireplaces:** *Solid Fuel Pellet burning* **Operable Fireplaces:** *One* **Number of Woodstoves:** *Two*

7.0 Heating Equipment - *Inspected, Repair or Replace*

The electric baseboard heater in the front right bedroom was not operational at the time of inspection. Repair is recommended by an electrician or other qualified professional.

7.1 Normal Operating Controls - *Inspected*

7.2 Automatic Safety Controls - *Inspected*

7.3 Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors) - *Inspected*

7.4 Presence of Installed Heat Source in Each Room - *Inspected*

7.5 Chimneys, Flues and Vents (for fireplaces, gas water heaters or heat systems) - *Inspected*

7.6 Solid Fuel Heating Devices (Fireplaces, Woodstove) - *Inspected, Repair or Replace, SA= Safety*

(1) Cleaning of both wood pellet stoves is recommended by a qualified professional prior to use.

(2) The wood fireplace located in the lower level has wood blocking the flue. Cleaning and necessary repairs are recommended by a chimney service professional prior to use.

7.7 Gas/LP Firelogs and Fireplaces - *Not Present*

7.8 Cooling and Air Handler Equipment - *Not Present*

7.9 Normal Operating Controls - *Not Present*

7.10 Presence of Installed Cooling Source in Each Room - *Not Present*



7.0 Item 1(Picture) Baseboard heater not operational



7.6 Item 1(Picture)



7.6 Item 2(Picture) Flue blocked

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Attic Insulation: Batt Fiberglass **Ventilation:** Gable vents Ridge vents **Exhaust Fans:** Fan only Fan with light Fan/Heat/Light **Dryer Power Source:** 220 Electric **Dryer Vent:** Metal **Floor System Insulation:** Not visible

8.0 Insulation in Attic - Inspected, Repair or Replace

R-19 insulation is currently present. Additional insulation would be beneficial. A qualified person should install more insulation as needed.

8.1 Insulation Under Floor System - Inspected

Not visible

8.2 Vapor Retarders (in Crawlspace or basement) - Inspected

Not visible

8.3 Ventilation of Attic and Foundation Areas - Inspected, Repair or Replace

Additional attic ventilation is recommended to prolong the shingles life and promoted proper ventilation. The current ventilation does not meet current standards. A roofer or other qualified person should install as needed.

8.4 Venting Systems (Kitchens, Baths and Laundry) - Inspected, Repair or Replace

- (1) The hall, master and kitchen vent fans terminate into the attic. Terminating all exhaust fans to the exterior is recommended. A qualified professional is recommended to correct.
- (2) The cover is missing from the hall bath fan. Repair as needed.

8.5 Ventilation Fans and Thermostatic Controls in Attic - Not Present



8.0 Item 1(Picture)



8.4 Item 1(Picture) Bath fan



8.4 Item 2(Picture) Kitchen fan



8.4 Item 3(Picture) Cover missing

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Built-In Kitchen Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Dishwasher Brand: FRIGIDAIRE Exhaust/Range hood: UNKNOWN BRAND Range/Oven: GENERAL ELECTRIC Refrigerator: WHIRLPOOL

9.0 Dishwasher - Inspected, Repair or Replace

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The dishwasher supply line is not properly restrained in the basement. A qualified person is recommended to restrain.

9.1 Ranges/Ovens/Cooktops - *Inspected*

9.2 Range Hood (s) - *Inspected*

9.3 Refrigerator - *Inspected*



9.0 Item 1(Picture) Supply line

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary



Premier Inspection Services

Todd Smith
Premier Inspection Services
148 Highland Terrace
West Oneonta, NY 13861
607-386-1711
premierinspect1@gmail.com

Customer

Address
Sample Street
NY

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

3. Interiors

3.3 Steps, Stairways, Balconies and Railings

Inspected, Repair or Replace, SA= Safety

A loose handrail was noted leading to the finished lower level.

3. Interiors



3.3 Item 1(Picture) Loose handrail

4. Structural Components

4.0 Foundations, Basement and Crawlspc (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Inspected, Repair or Replace

Mold growth was noted on shelving, cabinets and other surfaces in the basement. Elevated humidity was detected and appears to be the cause of the mold growth. A dehumidifier(s) are recommended to prevent further growth. Professional remediation may be considered for mold removal.



4.0 Item 1(Picture) Mold on cabinet

4.3 Floors (Structural)

Inspected, Repair or Replace

Rotted sill plate and wood destroying insect damage was noted in the basement below the kitchen sliding door. Repair have been made, possibly to correct water intrusion. A pest control professional is recommended to provide treatment options. Repair of the rotted wood should be considered, as settling may occur at the rotted areas. A carpenter should be consulted for repair suggestions.

4. Structural Components



4.3 Item 1(Picture) Rotted sill plate



4.3 Item 2(Picture) Rotted joist and sill plate



4.3 Item 3(Picture) WDI damage



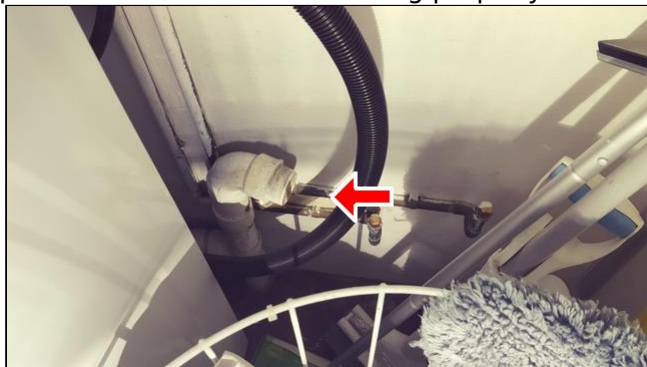
4.3 Item 4(Picture) Water damage and WDI damage

5. Plumbing System

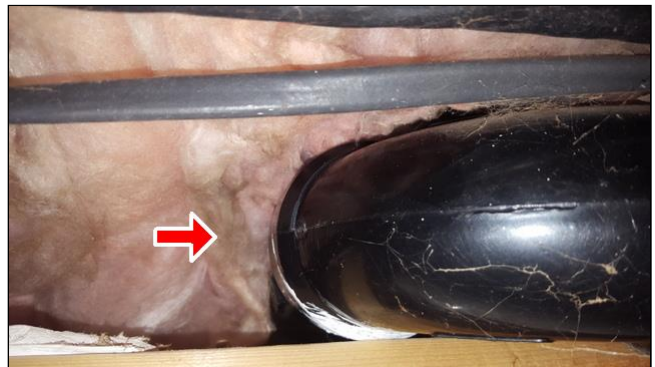
5.0 Plumbing Drain, Waste and Vent Systems

Inspected, Repair or Replace

- (1) An interior main sewer drain clean out access was not observed in the home. A plumber or other qualified person is recommended to install a clean out in case the main line needs to be cleared.
- (2) An unused open trap was noted in the basement below the kitchen and behind the washing machine. Additionally a drain line was noted running under the dining room, but no fixtures are present in that area. The open trap started gurgling when the dishwasher was draining. A plumber or other qualified person is recommended to make repairs necessary to insure no open drains area present and fixture are draining properly.



5.0 Item 1(Picture) Open drain line



5.0 Item 2(Picture) Mystery drain pipe

5.1 Plumbing Water Supply, Distribution System and Fixtures

Inspected, Repair or Replace

5. Plumbing System

(1) The shower arm in the master bathroom is loose. Repair will likely require opening the wall. A qualified professional is recommended for repair to prevent damage to the supply line and water leaks.



5.1 Item 1(Picture) Loose shower arm

(2) The lower level toilet is loose at the base and leaks. Repair by a plumber is recommended.



5.1 Item 2(Picture) Loose and leaks

(3) The tub diverter in the hall bathroom is not functional. Repair is recommended by a plumber or other qualified professional.



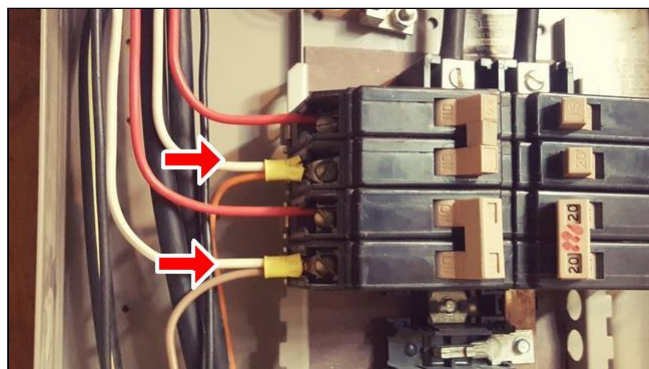
5.1 Item 3(Picture) Tub diverter not working

6. Electrical System

6.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels Inspected, Repair or Replace, SA= Safety

Double tapped breakers were noted in the sub panel located in the basement. A electrician is recommended to correct appropriately.

6. Electrical System



6.1 Item 1(Picture) Double tapped breakers

6.3 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace, SA= Safety

(2) A broken outlet was noted in the converted garage.

A uncovered junction box was observed in the kitchen near the light switches.

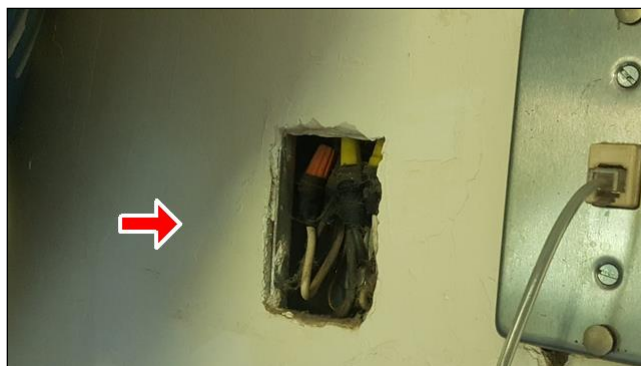
Exposed wires were noted in the laundry room.

All items are recommended for repair by an electrician.

6. Electrical System



6.3 Item 2(Picture) Broken outlet



6.3 Item 3(Picture) Uncovered junction box



6.3 Item 4(Picture) Exposed wires

6.4 Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures, all receptacles in garage, carport and exterior walls of inspected structure

Inspected, Repair or Replace, SA= Safety

GFCI receptacles are recommended in the converted garage, kitchen and hall bath to comply with current safety standards. An electrician should install.

6.5 Operation of GFCI (Ground Fault Circuit Interrupters)

Inspected, Repair or Replace, SA= Safety

The GFCI receptacles at the front porch and master bathroom did not trip when tested. Replacement GFCI receptacles are recommended. An electrician should install.



6.5 Item 1(Picture) Not functional



6.5 Item 2(Picture)

6.7 Smoke Detectors

Inspected, Repair or Replace, SA= Safety

Smoke alarms are recommended in each bedroom and on each level at a minimum.

6.8 Carbon Monoxide Detectors

Inspected, Repair or Replace, SA= Safety

CO alarms are recommended in areas with propane and wood heat.

7. Heating / Central Air Conditioning

7.0 Heating Equipment

Inspected, Repair or Replace

The electric baseboard heater in the front right bedroom was not operational at the time of inspection. Repair is recommended by an electrician or other qualified professional.



7.0 Item 1(Picture) Baseboard heater not operational

7.6 Solid Fuel Heating Devices (Fireplaces, Woodstove)

Inspected, Repair or Replace, SA= Safety

(1) Cleaning of both wood pellet stoves is recommended by a qualified professional prior to use.



7.6 Item 1(Picture)

(2) The wood fireplace located in the lower level has wood blocking the flue. Cleaning and necessary repairs are recommended by a chimney service professional prior to use.



7.6 Item 2(Picture) Flue blocked

9. Built-In Kitchen Appliances

9.0 Dishwasher

Inspected, Repair or Replace

9. Built-In Kitchen Appliances

The dishwasher supply line is not properly restrained in the basement. A qualified person is recommended to restrain.



9.0 Item 1(Picture) Supply line

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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